

Authority: Item 11, Economic Development and
Planning Committee
Report 08- 019 (PED08222)
CM: October 15, 2008

Bill No. 242

CITY OF HAMILTON

BY-LAW NO. 08-242

**To Amend Zoning By-law No. 3692-92 (Stoney Creek)
Respecting Lands located at 516 and 520 Fifty Road, and Block 185 of
Plan 62M-987**

WHEREAS the City of Hamilton Act, 1999, Statutes of Ontario, 1999 Chap.14, Sch. C. did incorporate, as of January 1, 2001, the municipality "City Of Hamilton";

AND WHEREAS the City Of Hamilton is the successor to certain area municipalities, including the former area municipality known as "The Corporation of the City of Stoney Creek" and is the successor to the former Regional Municipality, namely, The Regional Municipality of Hamilton-Wentworth;

AND WHEREAS the City Of Hamilton Act, 1999 provides that the Zoning By-laws of the former area municipalities continue in force in the City of Hamilton until subsequently amended or repealed by the Council of the City of Hamilton;

AND WHEREAS Zoning By-law No. 3692-92 (Stoney Creek) was enacted on the 8th day of December, 1992, and approved by the Ontario Municipal Board on the 31st day of May, 1994;

AND WHEREAS the Council of the City of Hamilton, in adopting Item 11 of Report 08-019 of the Economic Development and Planning Committee at its meeting held on the 15th day of October, 2008, recommended that Zoning By-law No. 3692-92 (Stoney Creek), be amended as hereinafter provided;

AND WHEREAS this by-law is in conformity with the Official Plan of the City of Hamilton (the Official Plan of the former City of Stoney Creek); approved by the Minister under the Planning Act on May 12, 1986;

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. That Map No. 4 of Schedule "A", appended to and forming part of By-law No. 3692-92 (Stoney Creek) is amended as follows:

Zoning By-law Respecting 516 & 520 Fifty Road, and Block 185 of Plan 62M-987

(Page 2 of 3)

- (a) by changing the zoning from the Rural Residential "RR" Zone to the Residential "R3-29" Zone, the lands comprising "Block 1";
- (b) by changing the zoning from the Rural Residential "RR" Zone to the Residential "R5-6" Zone, the lands comprising "Block 2"; and,
- (c) by changing the zoning from the Neighbourhood Development "ND" Zone to the Residential "R5-6" Zone, the lands comprising "Block 3";

on the lands, the extent and boundaries of which are shown on a plan hereto annexed as Schedule "A".

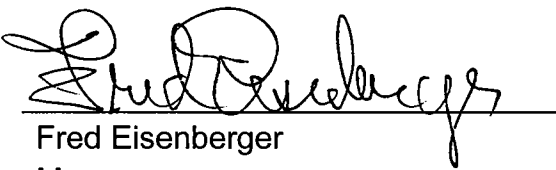
- 2. That Subsection 6.4.7, "Special Exemptions", of Section 6.4 Residential "R3" Zone, of Zoning By-law No. 3692-92 (Stoney Creek), be amended by adding a new special exemption, "R3-29", as follows:

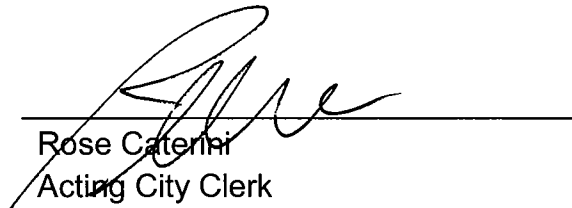
"R3-29" - 516 and 520 Fifty Road, Schedule "A", Map No.4

Notwithstanding the provisions of Paragraph (a) of Subsection 6.4.3 of the Residential "R3" Zone, on those lands zoned "R3-29" by this by-law, the minimum lot area for an interior lot shall be 350 square metres.

- 3. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this by-law, in accordance with the Planning Act.

PASSED and ENACTED this 15th day of October, 2008.

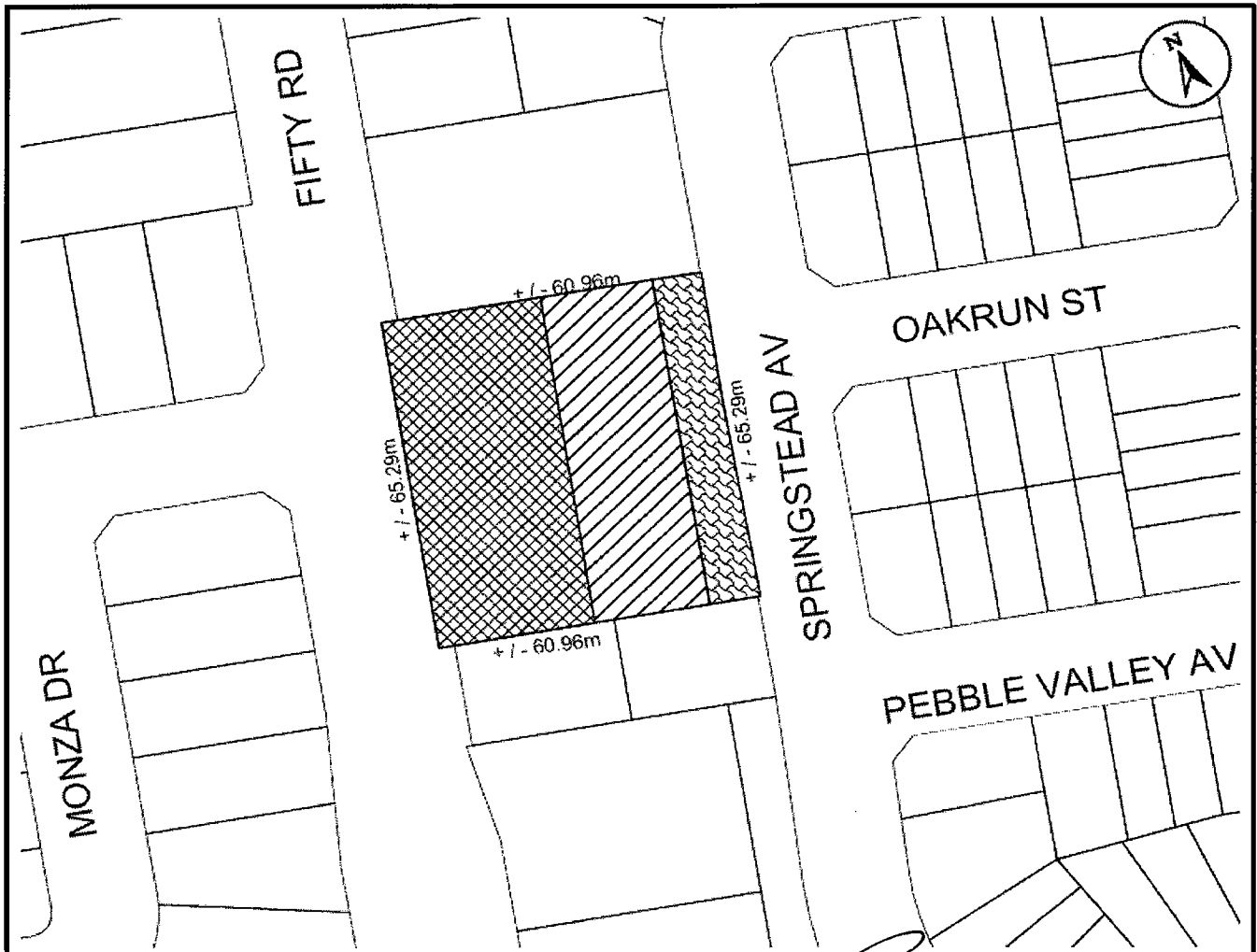

Fred Eisenberger
Mayor


Rose Caterini
Acting City Clerk

ZAC-08-023

Zoning By-law Respecting 516 & 520 Fifty Road, and Block 185 of Plan 62M-987

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This is Schedule "A" to By-Law No. 08- 242

Passed the15... day of October....., 2008

[Signature]
Clerk
[Signature]
Mayor

Schedule "A"

Map Forming Part of
By-Law No. 08-242

to Amend By-law No.3692-92

Subject Property



Block 1 - Change in Zoning from the Rural Residential "RR" Zone to the Residential "R3-29" Zone



Block 2 - Change in Zoning from the Rural Residential "RR" Zone to the Residential "R5-6" Zone



Block 3 - Change in Zoning from the Neighbourhood Development "ND" Zone to the Residential "R5-6" Zone

Scale:
N.T.S.

File Name/Number:
ZAC-08-023

Date:

September 3, 2008

Planner/Technician:
MP/NH



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT